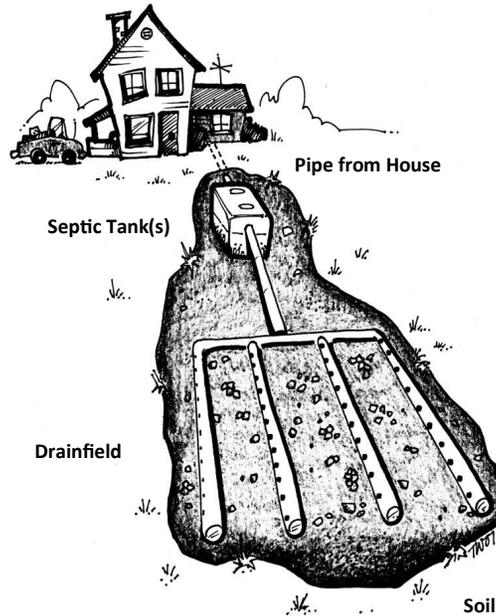


What is a Demolition Affidavit?

A Demolition Affidavit is a legally binding document recorded on the deed with the Register of Deeds office. It states that the home may not be occupied and that any existing well(s) and septic tank(s) on the property must be properly abandoned.

To ensure this occurs, contracts for well abandonment from a State of Michigan Registered Well Driller and septic tank abandonment from a Washtenaw County Certified Sewage Installer must be submitted with the affidavit request.

In addition, 1.5 times the amount of these contracts must be held in escrow (usually by the Title Company) until our office receives necessary documentation that the systems have been properly abandoned. At that time, we will authorize release of the funds by the escrow holder.



To look up well and septic records including previous plans and permits, visit:
<http://publicaccess.ewashtenaw.org>



Washtenaw County Public Health Environmental Health Division

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Washtenaw County Home Demolition at Time of Sale



**guidelines for demolition
when buying or selling a home
with a well or septic system**



**Washtenaw County,
Michigan**

Home Demolition at Time of Sale

I like the property but plan to tear down the house. Do I still need the well & septic inspected?

In Washtenaw County, if a home is served by an onsite well and/or septic system, the system(s) usually must be inspected and approved before the home can be sold.

However, property owners are exempt from this inspection requirement for homes that “shall be demolished and shall not be occupied after the property transfer.”

Note that the house MUST be demolished and MUST NOT be occupied. A Demolition Affidavit must be submitted to our office to document that the property was exempt from the inspection requirement.

Can I keep the existing well and/or sewage system?

No. A Demolition Affidavit requires the proper abandonment of both systems. If there is intent on using either or both systems, then a Time of Sale inspection of the system(s) is required. If substantial deficiencies are found, repairs or system replacement will be required.

What effect does demolition have on the ability to rebuild on the property?

If there is intent to demolish the existing home, involved parties need to understand that the property reverts to vacant land status once the home is demolished. Vacant land must conform to established code requirements for on-site water supply and wastewater disposal systems.

There is no guarantee that a vacant parcel of land can meet these requirements without review and approval by our office. In instances where a demolition and rebuild is intended, property owners or purchasers should apply for a soil evaluation through our office. This will determine whether the property can conform to current on-site water supply and wastewater disposal requirements.

What if I'm not sure I want to tear the house down?

If you are not 100% sure the house will be demolished, a Time of Sale inspection of the water supply and sewage disposal systems should be completed. This process will determine if these systems are adequate to serve the existing home. The information gathered can also be used to guide decisions about future home expansion or demolition and rebuild plans.

The inspection failed. Since I don't really like the house, is it best to just tear it down?

Understand that for existing homes, our office is committed to find the best viable solutions when substantial water supply or wastewater disposal deficiencies are found. We will permit replacement systems to correct these deficiencies for existing homes.

However, once a home is demolished, the property is vacant and must then meet all current code requirements for a new home build. For this reason, it may be advantageous to consider home renovation rather than demolition.

Are there other circumstances in which a demolition occurs?

Yes. A few common scenarios include conversion of property to park land, building condemnation or conversion to development tracts. In these instances, use of the water supply and wastewater disposal facilities are terminated. Our priority is to see that the well(s) and septic tank(s) are properly abandoned.